



Community Redevelopment Agency Application (CRA)

Included in this packet:

- Application
- Affidavit to Authorize Agent
- Data Sheet

List of Required Submittals

A pre-application meeting is encouraged prior to submittal. To schedule, please call (727) 892-5498 or email drc@stpete.org

Only complete applications will be accepted:

- Completed CRA application form**
- Affidavit to Authorize Agent if Agent signs application**
- Data Sheet**
- Site plan and survey of the subject property**
- Elevation drawings: 8 ½ x 11" (color), Depicts all sides of existing & proposed structure(s)**
- Digital copy of application documents (may be emailed)**
- Notice of Intent to File (16.06.010.1.C)**

**Planning and
Development Services
Department**

**Development Review
Services Division**

City of St. Petersburg
P.O. Box 2842
St. Petersburg, FL 33731
727 / 893.7471

UPDATED: 01-26-22

_____Completeness review by City Staff

The City Council of St. Petersburg, acting at the Community Redevelopment Agency (CRA), is charged with reviewing development proposals for projects occurring in the City's community redevelopment areas. All development proposals within those areas must be submitted to CRA staff in the Planning and Development Services Department, or its successor, for determination of compliance with the adopted redevelopment plan.

An application for development review must be submitted a minimum of 45 days prior to the next regularly scheduled meeting of the CRA, which meets the first and third Thursday of each month. It is necessary for the applicant or agent to be present at the meeting. In-house review is available for projects valued at \$5 million or less.



CRA Application cont.

All applications are to be filled out completely and correctly. The application shall be submitted to the Development Review Services Division, located on the 1st floor of the Municipal Services Building, One Fourth Street North.

GENERAL INFORMATION	
NAME of APPLICANT (Property Owner): ECHELON 3RD & 3RD OWNER LLC	
Street Address: 235 3RD ST S STE 200	
City, State, Zip: ST PETERSBURG FL 33701	
Telephone No:	Email:
NAME of AGENT OR REPRESENTATIVE: R. Donald Mastry, Trenam Law	
Street Address: 200 Central Avenue, Suite 1600	
City, State, Zip: St. Petersburg, FL 33701	
Telephone No: 727-824-6140	Email: dmastry@trenam.com
NAME of ARCHITECT or ENGINEER:	
Company Name: Baker Barrios Architects, Inc.	Contact Name: Grayson Silver
Telephone No: 813-549-1900	
Website: https://www.bakerbarrios.com/	Email: gsilver@bakerbarrios.com
PROPERTY INFORMATION:	
Address/Location: 235 3RD ST S	Email:
Parcel ID#(s): 19-31-17-90465-001-0020	
DESCRIPTION OF REQUEST: 33-story building and 8-story building containing 268 dwelling units, 15,525 sf of commercial space and a 323-space parking garage	

City staff may visit the subject property during review of the request. The applicant, by filing this application, agrees they will comply with the decision(s) regarding this application and conform to all conditions of approval. The applicant's signature affirms that all information contained within this application has been completed and that the applicant understands that processing this application may involve substantial time and expense. Filing an application does not guarantee approval.

NOTE: IT IS INCUMBENT UPON THE APPLICANT TO SUBMIT CORRECT INFORMATION. ANY MISLEADING, DECEPTIVE, INCOMPLETE, OR INCORRECT INFORMATION MAY INVALIDATE YOUR APPROVAL.

Signature of Owner/Agent*: _____ R. Donald Mastry, as agent
 *Affidavit to Authorize Agent required, if signed by Agent. _____ Date



AFFIDAVIT TO AUTHORIZE AGENT

I am (we are) the owner(s) and record title holder(s) of the property noted herein

Property Owner's Name:

ECHELON 3RD & 3RD OWNER LLC

"This property constitutes the property for which the following request is made

Property Address: 235 3RD ST S

Parcel ID#: 19-31-17-90465-001-0020

Request: All approvals needed in connection with the redevelopment of the property, including, without limitation, site plan approval and CRA approval.

"The undersigned has(have) appointed and does(do) appoint the following agent(s) to execute any application(s) or other documentation necessary to effectuate such application(s)

Agent's Name(s): R. Donald Mastry, Trenam Law

This affidavit has been executed to induce the City of St. Petersburg, Florida, to consider and act on the above described property

I(we), the undersigned authority, hereby certify that the foregoing is true and correct

Signature (owner): *Steven Kurcan*

STEVEN KURCAN

Printed Name

Sworn to and subscribed on this date

Identification or personally known:

Personally Known

Notary Signature: *Christine Christenson*

Date: 08-08-2022

Commission Expiration (Stamp or date):



ONLY COMPLETE APPLICATIONS WILL BE ACCEPTED. FAILURE TO COMPLETE THIS FORM WILL RESULT IN DEFERRAL OF YOUR APPLICATION.

DATA TABLE					
1.	Zoning Classification: DC-1				
2.	Existing Land Use Type(s): Office and surface parking lot				
3.	Proposed Land Use Type(s): Residential and commercial				
4.	Area of Subject Property: 38,500 sf (0.88 ac)				
5.	Construction Value: \$96,000,000				
6.	Gross Floor Area (total square feet of building(s))				
	Existing:	36,328	Sq. ft.		
	Proposed:	511,047	Sq. ft.		
	Permitted:	N/A	Sq. ft.		
7.	Floor Area Ratio (total square feet of building(s) divided by the total square feet of entire site)				
	Existing:	0.94	Sq. ft.	36,328	
	Proposed:	7.0	Sq. ft.	269,500	
	Permitted:	N/A	Sq. ft.	N/A	
8.	Building Coverage (first floor square footage of building)				
	Existing:	12,109	Sq. ft.	31.5	% of site
	Proposed:	29,344	Sq. ft.	76.2	% of site
	Permitted:	38,500	Sq. ft.	100	% of site
9.	Open Green Space (include all green space on site; do not include any paved areas)				
	Existing:	2,099	Sq. ft.	5.5	% of site
	Proposed:	819	Sq. ft.	2.1	% of site
10.	Interior Green Space of Vehicle Use Area (include all green space within the parking lot and drive lanes)				
	Existing:	2,099	Sq. ft.	5.5	% of vehicular area
	Proposed:	0	Sq. ft.	0	% of vehicular area
11.	Paving Coverage (including sidewalks within boundary of the subject property; do not include building footprint(s))				
	Existing:	24,404	Sq. ft.	63.4	% of site
	Proposed:	6,159	Sq. ft.	16.0	% of site

DATA TABLE (continued page 2)					
12.	Impervious Surface Coverage (total square feet of all paving, building footprint and other hard surfaced areas)				
	Existing:	36,401	Sq. ft.	94.6	% of site
	Proposed:	37,509	Sq. ft.	97.4	% of site
	Permitted:	38,500	Sq. ft.	100	% of site
13.	Density / Intensity				
	<i>No. of Units</i>		<i>No. of Employees</i>		<i>No. of Clients (C.R. / Home)</i>
	Existing:	0	Existing:	n/a	Existing: n/a
	Proposed:	268	Proposed:	n/a	Proposed: n/a
	Permitted:	n/a			
14 a.	Parking (Vehicle) Spaces				
	Existing:	69	includes	2	disabled parking spaces
	Proposed:	323	includes	8	disabled parking spaces
	Permitted:	201	includes	7	disabled parking spaces
14 b.	Parking (Bicycle) Spaces				
	Existing:	0	Spaces	0	% of vehicular parking
	Proposed:	270 (long); 16 (short)	Spaces	88.5	% of vehicular parking
	Permitted:	270 (long); 16 (short)	Spaces	88.5	% of vehicular parking
15.	Building Height				
	Existing:	36	Feet	3	Stories
	Proposed:	375	Feet	33	Stories
	Permitted:	n/a	Feet	n/a	Stories

NARRATIVE IN SUPPORT OF COMMUNITY REDEVELOPMENT AGENCY
APPLICATION FOR DEVELOPMENT PROPOSAL

Echelon 3rd & 3rd Owner LLC (the “Developer”) is the owner of the property located at 235 3rd St. S. (the “Property”). The Property is zoned DC-1, which permits various residential and commercial uses by right.

The Property is currently used as office space and surface parking. The Developer proposes to redevelop it with a 33-story building and an 8-story building containing 268 dwelling units, 15,525 sf of commercial space and a 323-space parking garage (the “Project”).

The Developer is requesting approval of the Project by the Community Redevelopment Agency (CRA).

**Discussion of Standards of Review for Development Proposals in the Intown
Redevelopment Area and Intown West Redevelopment Area**

(Sec. 16.06.010.1 of the City of St. Petersburg Land Development Code (“Code”))

1. *The development proposal is consistent with the duly adopted underlying redevelopment plan;*

The Intown Redevelopment Plan (IRP) requires that the CRA evaluate a development proposal to ensure its proposed use and design are consistent with the IRP.

The zoning for the site is DC-1, which allows for some of the most intense development in the City:

This district provides for intense mixed-use development which creates a strong mixture of uses that enhance and support the core. Office and other employment uses are highly encouraged. Development in this district provides appropriate pedestrian amenities, pedestrian linkages, ground level retail, and cultural activities. Buildings and streetscaping (both hardscape and landscape improvements) are designed in a manner that promotes a successful people-oriented downtown area as exemplified and defined in the intown and intown west redevelopment plans.

The DC-1 district permits multi-family dwellings and commercial uses with an unlimited FAR and the Property has no maximum height. The Developer proposes a mixed-use project with 268 dwelling units, 15,525 sf of commercial space, a 323-space parking garage, a 7.0 FAR and a height of 375 ft, which qualifies for streamline approval under the Code. A decorative crown feature will be provided as required by Code.

The project is located within the Residential Area and adjacent to the Core Area of the IRP. The continued development of residential projects is heavily emphasized throughout the IRP:

The development of an expanded residential base in the Intown is essential to achieve a successful downtown redevelopment program. People living and working downtown will generate the 24-hour activity and community spirit necessary to continue the expansion of the downtown economic and cultural base.

The Project will further the desired development pattern and visual identity of Intown, and continue the growth of downtown. Currently, the subject site is underutilized, consisting of a large surface parking lot and an older office building. The redevelopment of this Property will help in achieving many of the goals of the IRP, especially the focus on new residential development in Intown, along with the desire to reduce or eliminate surface parking within downtown.

The proposed buildings are urban in scale with pedestrian oriented street level features. These include substantial ground level commercial space with entrances on all street frontages (4th St. S., 3rd Ave. S. and 3rd St. S.), ten-foot sidewalks, streetscaping and open space directly linked to the pedestrian system, and the ground level lobby.

Of note, approximately 80 of the Project's units will consist of smaller (less than 750 sf), relatively more affordable residential units, which furthers the affordability goals of the IRP, Code and Comprehensive Plan.

2. *The development proposal furthers the purpose of the Comprehensive Plan and the Land Development Regulations;*

The Project is consistent with and furthers the purpose of the Code and other City ordinances and actions designed to implement the Comprehensive Plan, specifically with regard to the promotion of redevelopment and the elimination of surface parking.

3. *The development proposal is generally consistent with the design review criteria currently set forth in City Council Resolution 2021-25.*

The project is generally consistent with the following design review criteria:

General

- All redevelopment sites shall meet all the applicable Land Development Regulations.
- All development projects shall comply with any adopted City neighborhood or business district master plan or equivalent, when not in direct conflict with the Land Development Regulations.
- Developers of projects within the redevelopment area shall submit project proposals and designs to the Community Redevelopment Agency (CRA) for development review and also provide notice of their proposals to existing

neighborhood and business association(s) where the project is located prior to being heard by the CRA.

- All development should demonstrate the use of energy conservation techniques to reduce space cooling, hot water, and space heating demands. These techniques should address, but not be limited to:
 - building orientation
 - building facade materials
 - shading of buildings and parking lots
 - wind control for cooling ground level spaces and/or buildings
 - use of solar energy (if practical) to meet development energy needs or individual building requirements, e.g., shared solar hot water
 - use of natural sunlight for interior lighting (daylighting).
- All new and redeveloped surface parking areas shall be landscaped according to applicable City requirements.
- All parking structures shall utilize the same architectural style, fenestration, and detailing as the principal structure or be encased by a liner building that utilizes the same architectural style.
- The ground level of all parking structures should contain pedestrian oriented uses, such as retail, office, restaurants and bars, museums, hotel lobbies and studios.
- All buildings within the development project should integrate architecturally, aesthetically and functionally through building design, materials, open spaces, scale, circulation systems, pedestrian level activities, and uniform signage and lighting.
- All new development and redevelopment should provide design elements (trees, canopies, street furniture, entryways, etc.) to bring the building and related activity spaces in scale with human dimensions and perception of space.
- Development should provide appropriate architectural variety to the area.
- The ground floor of the building shall contain any use as permitted by the Land Development Regulations or the façade abutting the street (not alleys) shall include architectural details such as fenestration, false display windows, natural finishes, or other architectural features.

Open and Pedestrian Spaces

Open spaces shall:

- be directly linked to the pedestrian system (sidewalks) and these links shall meet the Plaza Parkway Design Guidelines, or equivalent, or an adopted City approved neighborhood or business district master plan; and
- provide sufficient lighting to ensure night security.

Open spaces should:

- relate to activities and buildings within the block;
- establish visual and functional ties to surrounding activities and create a sense of seclusion in spaces set aside from the main pedestrian flow such as found in court yards;
- provide various types of open space use (public, private, and semi-public spaces);

- provide for human comfort and scale through the use of landscaping and/or canopies for shade and highlighting building entrances;
- provide sculptures, murals &/or water features;
- provide simple designs which dictate logical order and arrangement, allowing users to easily orient and relate themselves to the space and surrounding activities; and
- Mid-block pedestrian connections for large developments with streets at the front and rear should be considered.

Historic

- Renovation, redevelopment or new construction on historic properties shall comply with the City's historic preservation ordinance.
- The development should be sensitive to adjacent (within 200 feet) historic or archaeological resources related to scale, mass, building materials, and other impacts.
- When available, the Florida Master Site File should be consulted for historic properties.
- Developments on sites with historic structures are encouraged to utilize the incentives offered by the City's land development regulations.

Residential

- All infill development should create a sense of place and neighborhood identity by relating to old and new architecture and by developing interrelated open and pedestrian spaces.
- All new development within and adjacent to residential areas should relate in building scale and mass with the surrounding neighborhood.

The existing downtown development pattern contains a variety of building types, styles, heights, masses, setbacks and orientations. The Project's building form and the relationship of the buildings are consistent with other development projects in the IRP. Evo, Saltaire, Camden Pier District, Avanti and Beacon 430, are some of the larger projects to have been built within the immediate area of the Project.

The proposed development, which is permitted by the Property's DC-1 zoning, will continue the growth of downtown. The buildings are urban in scale with pedestrian oriented street level features, including the lobby entrance, screening of the parking garage, ample fenestration and transparency consistent with urban buildings. Improvements to the public realm include 10-foot wide sidewalks, street trees, landscaping, and bicycle parking. Moreover, the attention to ground floor design on all sides, including commercial space and entrances on 4th St. S., 3rd Ave. S. and 3rd St. S., makes the Project consistent with the pedestrian oriented goals of the IRP.

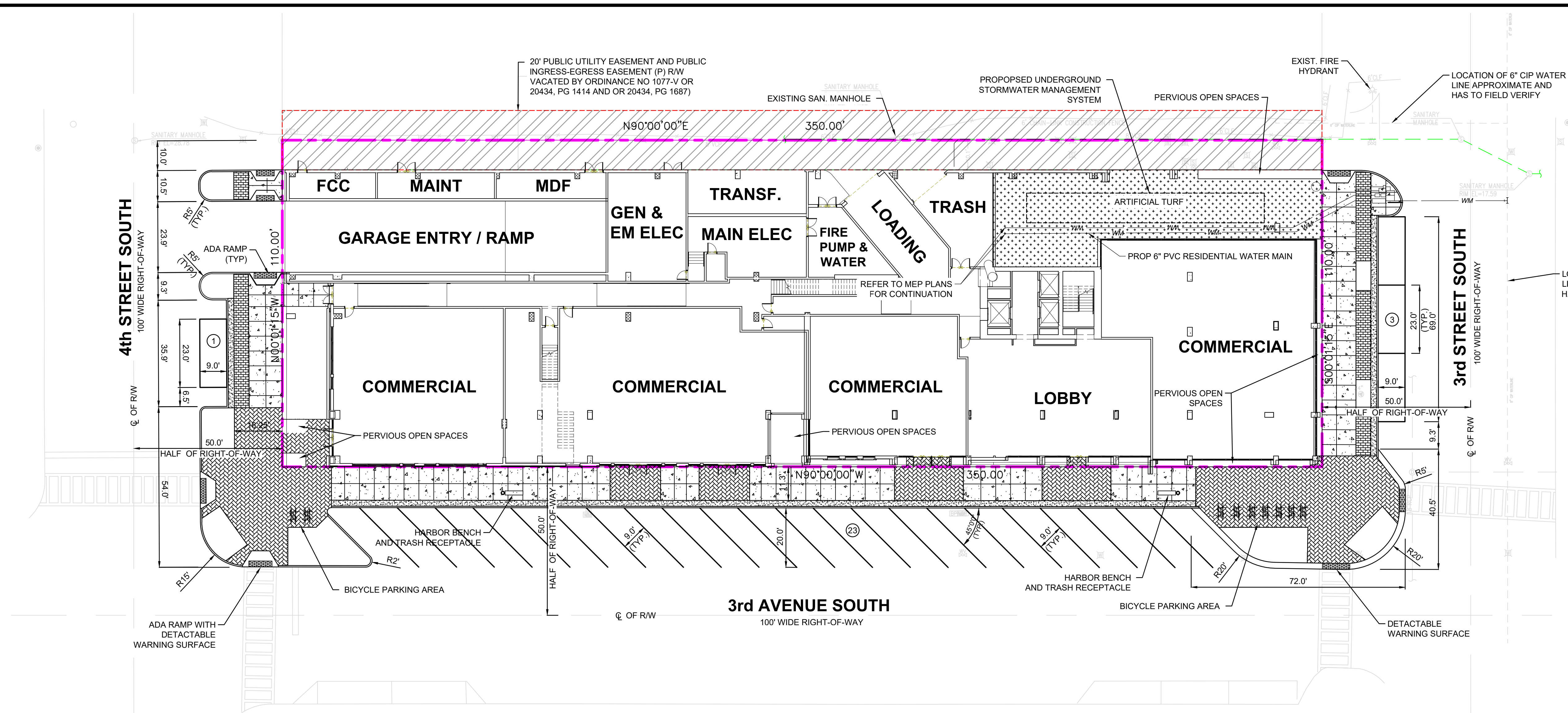
TAG	ISSUED	DATE

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DRAWN BY SK
CHECKED BY JH
CLIENT PROJ. NO. 210270.00
OSBORN PROJ. NO. J20211939.000

SITE PLAN

DRAWING NO.
C-200



SITE DATA

ZONING CLASSIFICATION: DC-1
EXISTING LAND USE TYPE(S): OFFICE AND SURFACE PARKING LOT
PROPOSED LAND USE TYPE(S): RESIDENTIAL AND COMMERCIAL
AREA OF SUBJECT PROPERTY: 38,500 SF (0.88 AC)
FLOOR AREA RATIO: 7.0 FAR (269,500 SF)
HEIGHT: 375 FT

MINIMUM SETBACKS:

	0 FT TO 75 FT HIGH	ABOVE 75 FT HIGH
4th ST. SOUTH:	0 FT	0 FT*
3rd AVE. SOUTH	0 FT	0 FT*
3rd ST. SOUTH	0 FT	0 FT*

*NO SETBACK ABOVE 75 FT IS REQUIRED AS PROJECT CONSISTS OF TWO BUILDINGS WITH EACH HAVING A FIRST FLOOR PLATE OF LESS THAN 16,000 SF.

MINIMUM DISTANCES BETWEEN BUILDINGS: 0 FT TO 75 FT HIGH ABOVE 75 FT HIGH
 NORTH PROPERTY LINE 0 FT 27.5 FT**
 **REDUCED SETBACK OF 27.5 FT APPLIES AS AVERAGE LOT WIDTH IS LESS THAN 120 FT (SETBACK IS EQUAL TO GREATER OF 25% OF THE LOT WIDTH, OR 15 FEET).




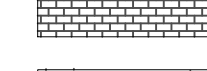
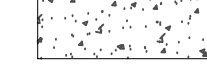


USE REQUIREMENTS:
 REQUIRED: NO LESS THAN OF 5% OF GROSS SF OF PROJECT SHALL BE NONRESIDENTIAL
 PROVIDED: AT LEAST 5% OF GROSS SF OF PROJECT IS NONRESIDENTIAL (GROUND FLOOR COMMERCIAL USES AND COMMERCIAL PARKING)

VEHICLE PARKING REQUIREMENTS:
 REQUIRED: 201 SPACES (1 SPACE PER RESIDENTIAL UNIT OVER 750 SF AND 1 SPACE PER 1,000 SF COMMERCIAL SPACE)
 PROVIDED: 323 SPACES

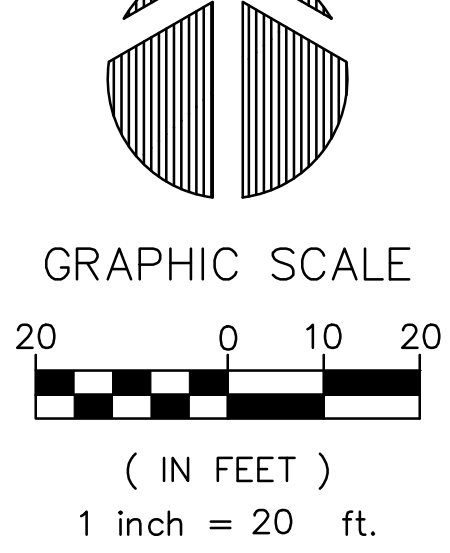
BICYCLE PARKING REQUIREMENTS:
 REQUIRED: 270 (LONG); 16 (SHORT) (1 LONG TERM SPACE PER RESIDENTIAL UNIT, AND 1 SHORT TERM SPACE PER 20 RESIDENTIAL UNITS; 2 COMMERCIAL LONG TERM SPACES, AND 1 SHORT TERM SPACE PER 5,000 SF COMMERCIAL)
 PROVIDED: 270 (LONG); 16 (SHORT) (REFER TO LANDSCAPE / HARDSCAPE PLAN)

OPEN SPACE REQUIREMENTS: (REFER TO OPEN SPACE EXHIBIT)
 REQUIRED: NO LESS THAN 5% GROUND LEVEL OPEN SPACE (AT LEAST 50% PERVIOUS AND NO MORE THAN 50% COVERED BY ARCHITECTURAL FEATURES), OR PAYMENT IN LIEU.
 PROVIDED: 4.18% (1,611 SF) GROUND LEVEL OPEN SPACE (AT LEAST 50% PERVIOUS AND NO MORE THAN 50% COVERED BY ARCHITECTURAL FEATURES), AND PAYMENT IN LIEU OF 0.16% OF TOTAL CONSTRUCTION COST INTO CITY OPEN SPACE TRUST FUND

LEGEND

-  PROP. ARTIFICIAL TURF
-  PROP. BRICK PAVE AREA
-  PROP. BRICK PAVER AREA
-  PROP. CONCRETE SIDEWALK
-  PROP. CONCRETE SIDEWALK
-  PROP. DETECTABLE WARNING SURFACE AREA
-  PUBLIC UTILITY EASEMENT AND PUBLIC INGRESS/EGRESS EASEMENT

NORTH



PERVIOUS AREA NOTE:
REFER TO THE LANDSCAPE/HARDSCAPE PLAN AND OPEN SPACE EXHIBIT FOR DETAIL ON PERVIOUS OPEN SPACES.

PAVEMENT MARKING:
ADJUST STRIPING AND PAVEMENT MARKING, PARKING STRIPING, AND STREET CROSSWALK :
 1. ON 3rd STREET SOUTH & 4th STREET SOUTH, PER F.D.O.T. STANDARD INDEX NO.711-002
 2. ON 3rd AVENUE SOUTH, PER CITY OF ST. PETERSBURG STANDARD & SPECIFICATION.

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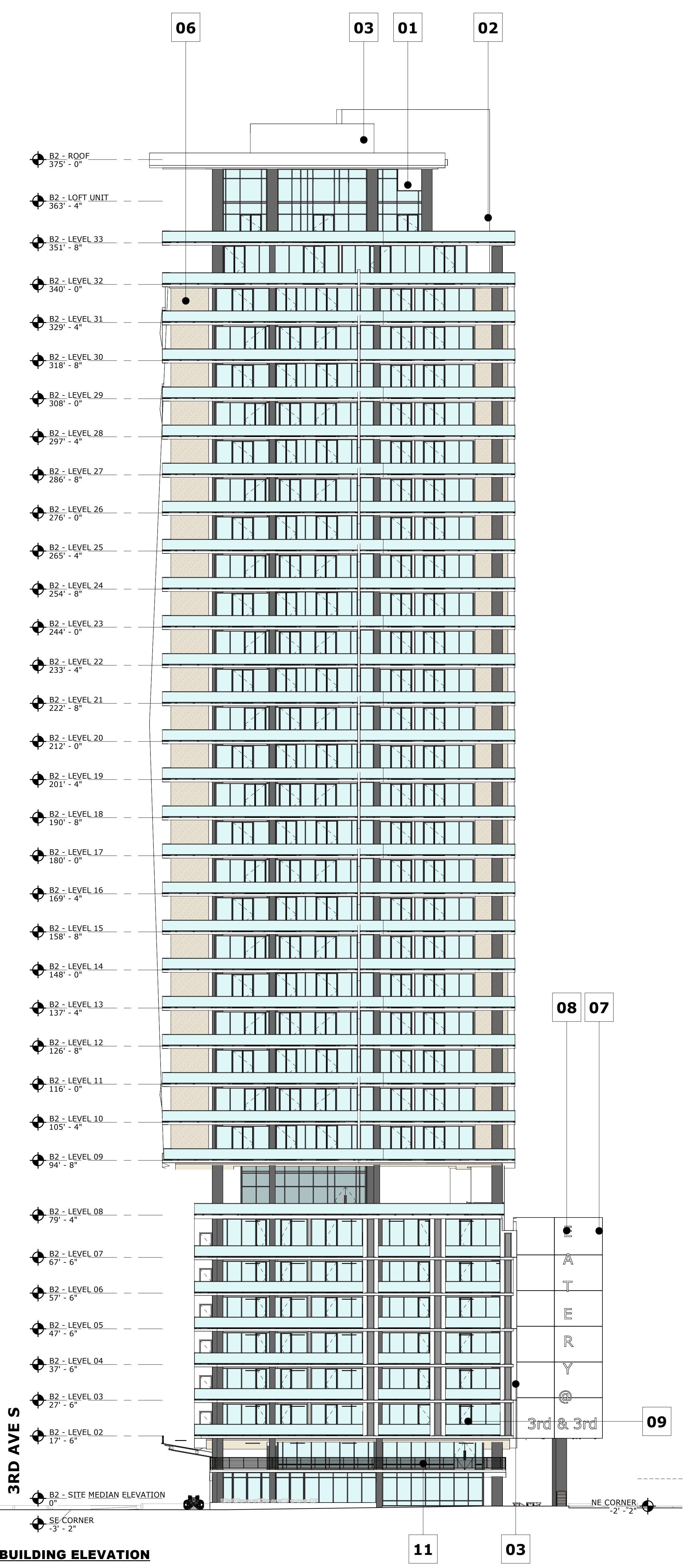




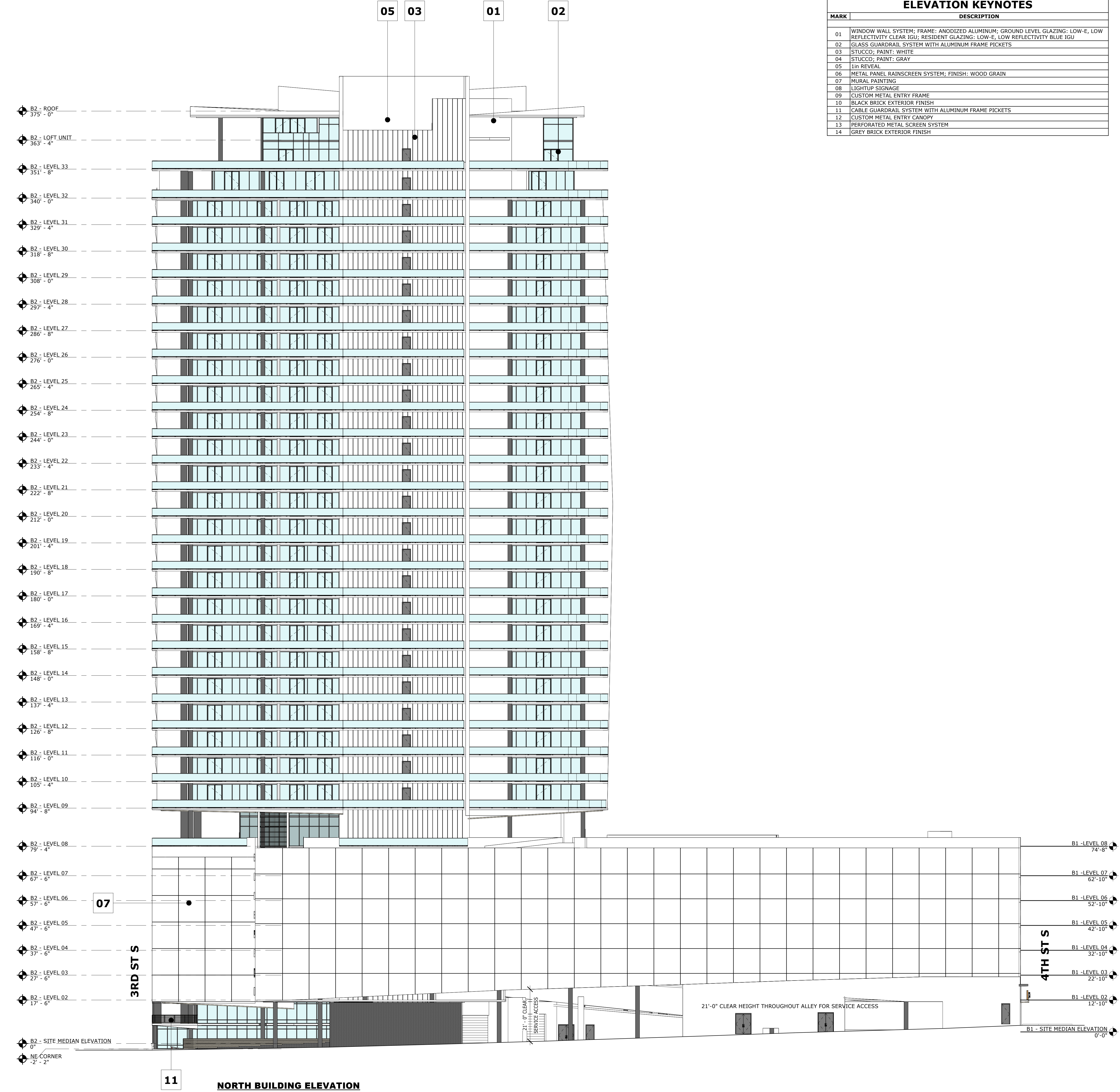




ELEVATION KEYNOTES	
MARK	DESCRIPTION
01	WINDOW WALL SYSTEM; FRAME: ANODIZED ALUMINUM; GROUND LEVEL GLAZING: LOW-E, LOW REFLECTIVITY CLEAR IGU; RESIDENT GLAZING: LOW-E, LOW REFLECTIVITY BLUE IGU
02	GLASS GUARDRAIL SYSTEM WITH ALUMINUM FRAME PICKETS
03	STUCCO; PAINT: WHITE
04	STUCCO; PAINT: GRAY
05	1 1/4" REVEAL
06	METAL PANEL RAINSCREEN SYSTEM; FINISH: WOOD GRAIN
07	MURAL PAINTING
08	LIGHTUP SIGNAGE
09	CUSTOM METAL ENTRY FRAME
10	BLACK BRICK EXTERIOR FINISH
11	CABLE GUARDRAIL SYSTEM WITH ALUMINUM FRAME PICKETS
12	CUSTOM METAL ENTRY CANOPY
13	PERFORATED METAL SCREEN SYSTEM
14	GREY BRICK EXTERIOR FINISH



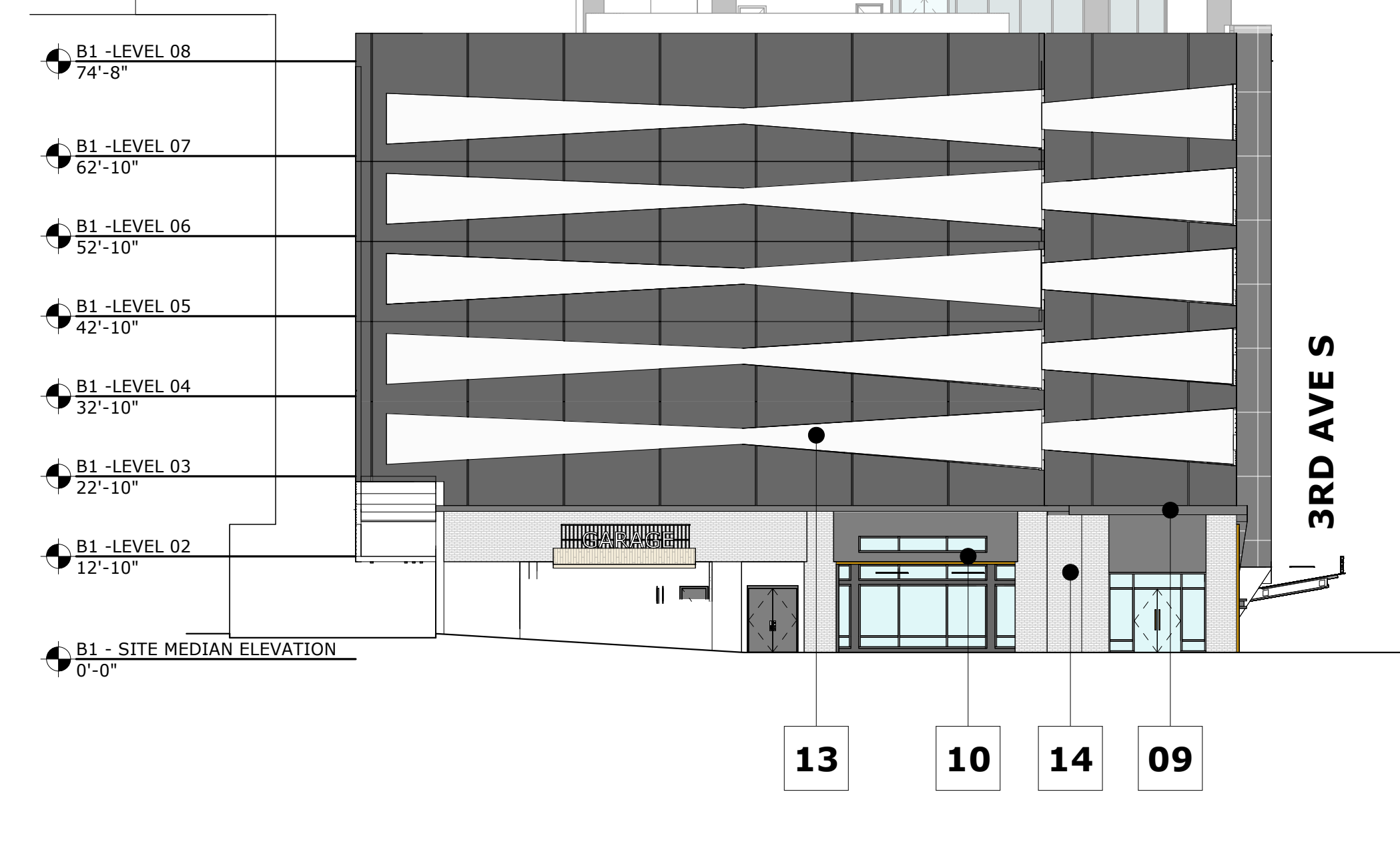
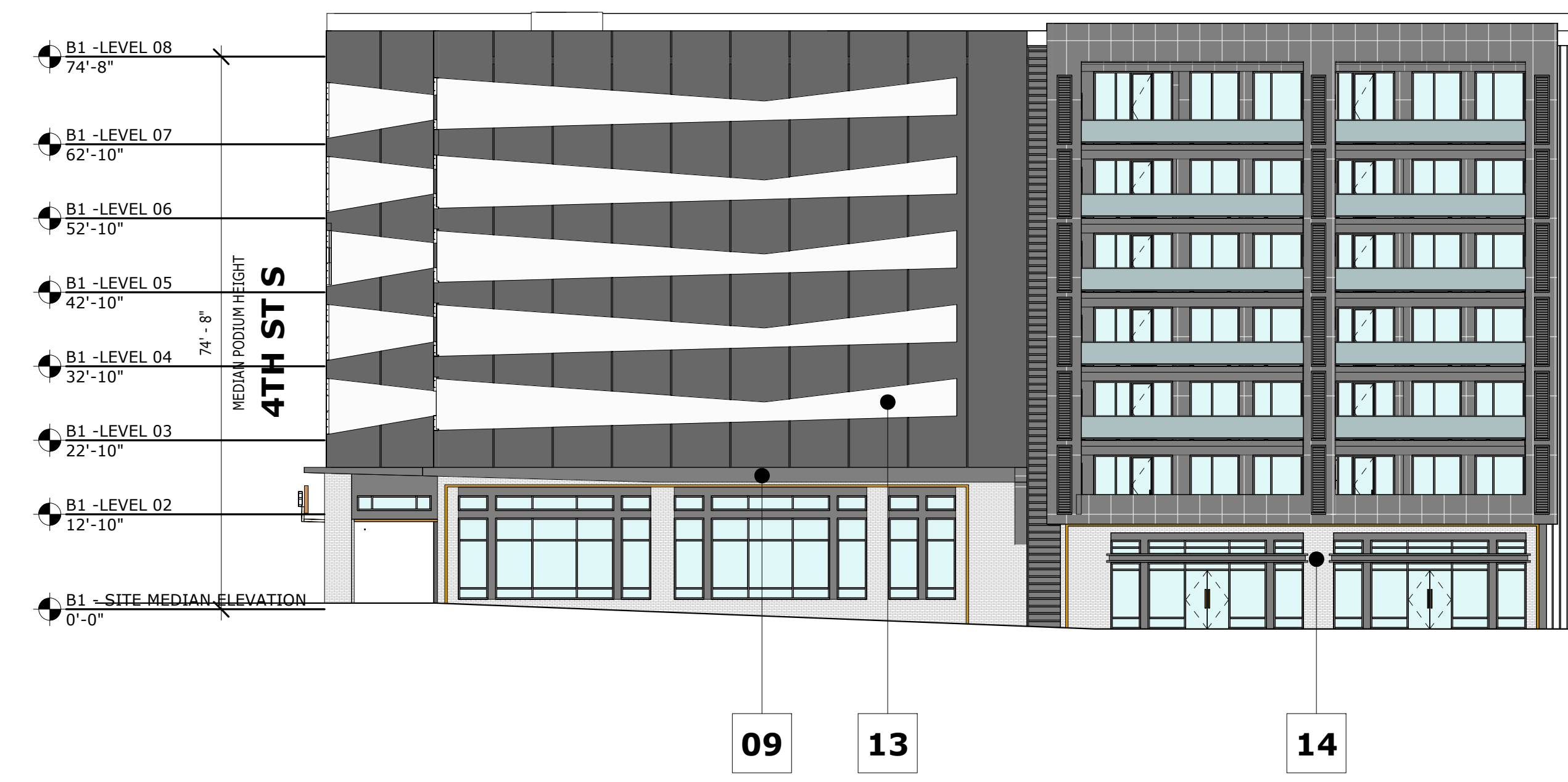
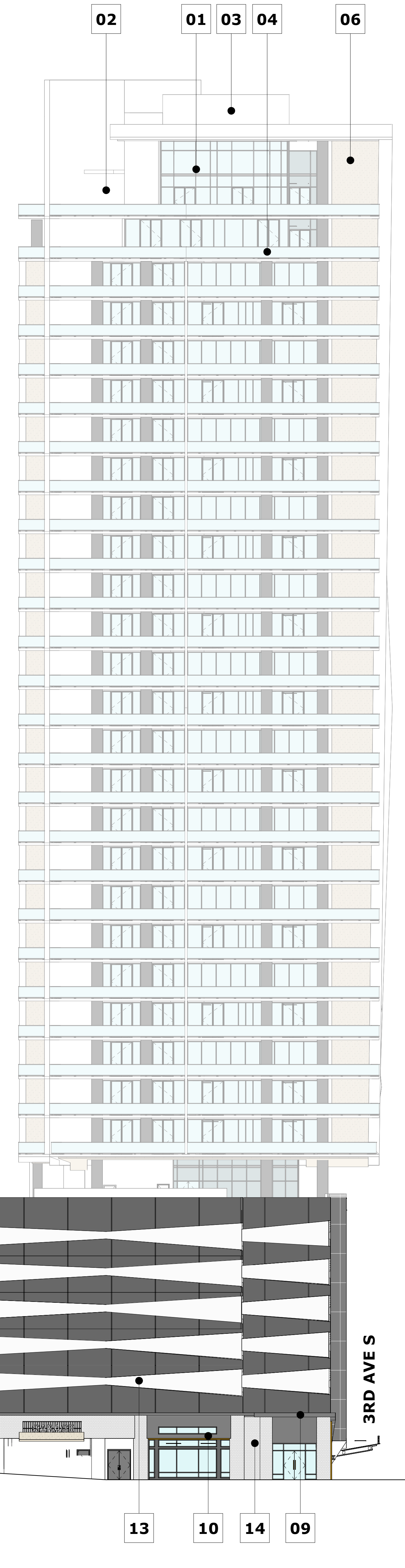
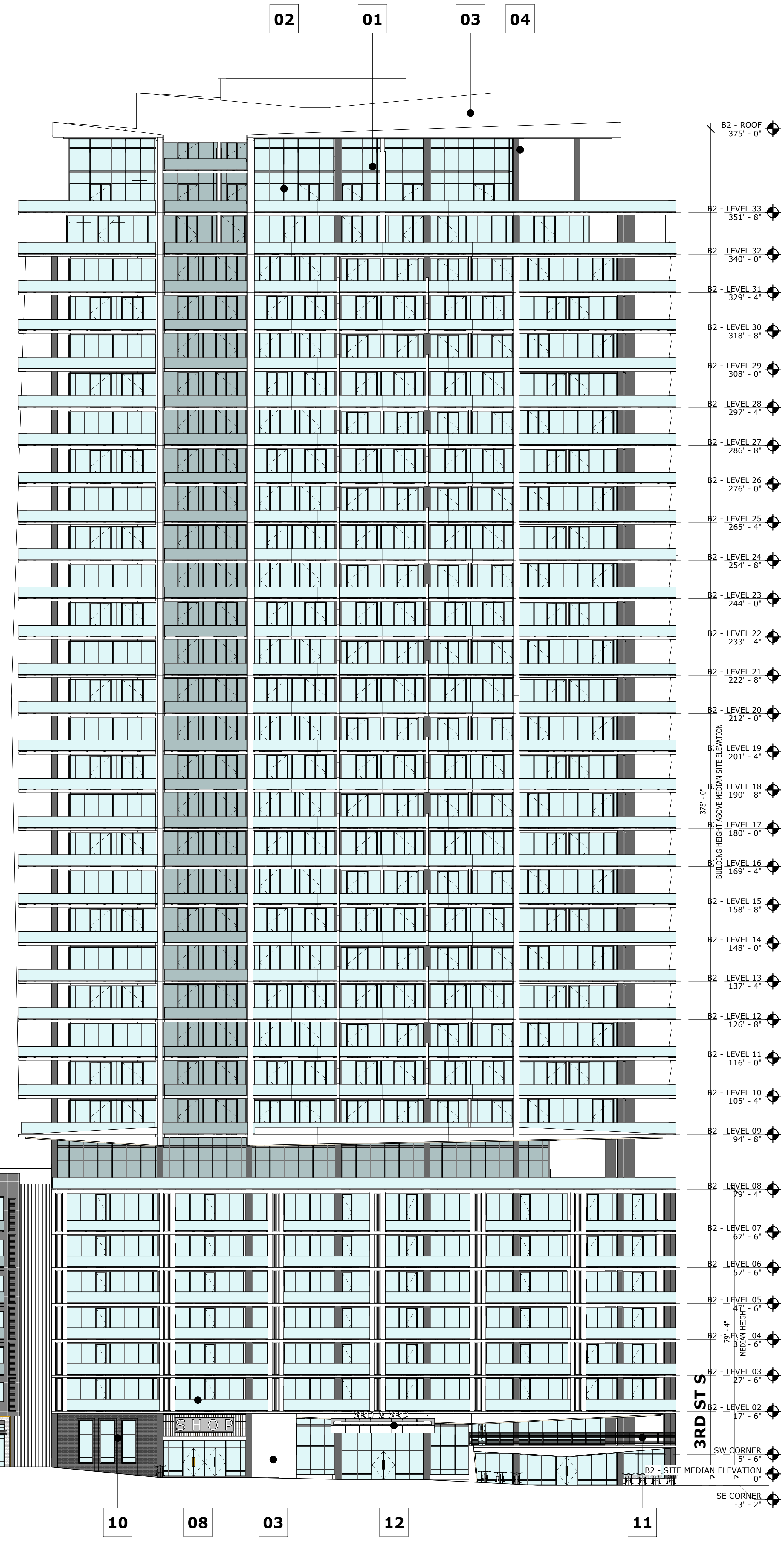
EAST BUILDING ELEVATION



NORTH BUILDING ELEVATION

BUILDING ELEVATIONS

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13	PERFORATED METAL SCREEN SYSTEM
14	GREY BRICK EXTERIOR FINISH



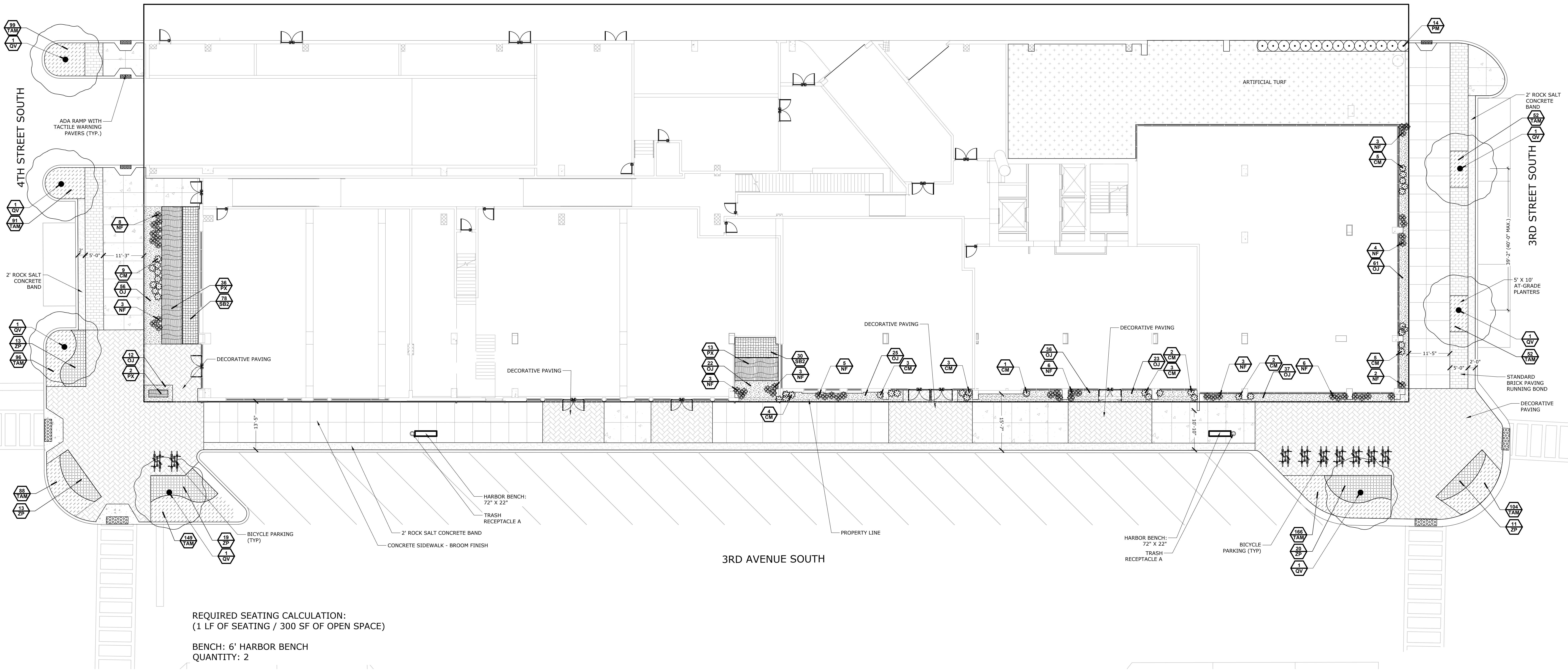
SOUTH BUILDING ELEVATION

WEST BUILDING ELEVATION

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	REMARKS	
QV	7	Quercus virginiana	Southern Live Oak	to spec	2" Cal., - 10' ht		
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	REMARKS	
CM	37	Codiaeum variegatum 'Mammy'	Mammy Croton	to spec	12"-14" Hgt.		
NF	46	Neoregelia x 'Fireball'	Fireball Bromeliad	to spec	Full Pot		
PM	14	Podocarpus macrophyllus	Yew Pine	to spec	36" ht. full		
SHRUB AREAS	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	SPACING	REMARKS
PX	51	Philodendron xanadu	Xanadu Philodendron	to spec	18" ht. x 18" spd.	30" o.c.	Full
SB2	108	Sansevieria trifasciata 'Black Coral'	Black Coral Sansevieria	to spec	16"-18" Hgt.	18" o.c.	
ZP	76	Zamia pumila	Coontie	to spec	15" ht x 15" spd	30" o.c.	
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	SPACING	REMARKS
OJ	272	Ophiopogon japonicus	Mondo Grass	1 gal	Full Pot	18" o.c.	Full
TAM	897	Trachelospermum asiaticum 'Minima'	Asian Jasmine	to spec	8" O.A.	12" o.c.	Full plants

PRIVATE DRIVE

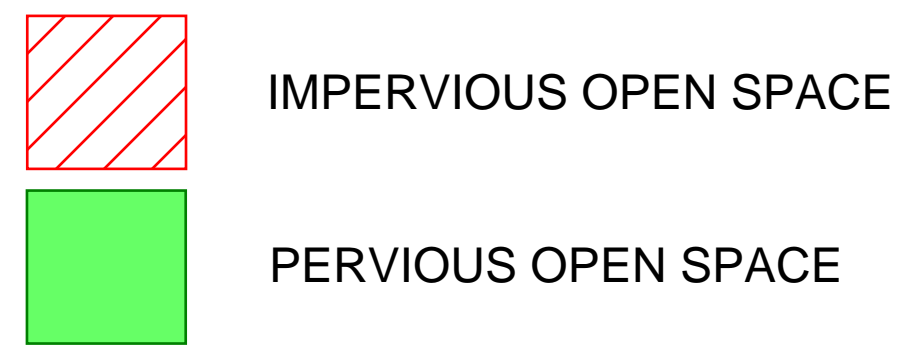


NOT FOR CONSTRUCTION

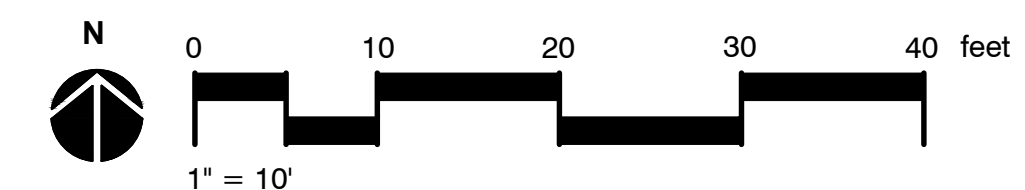
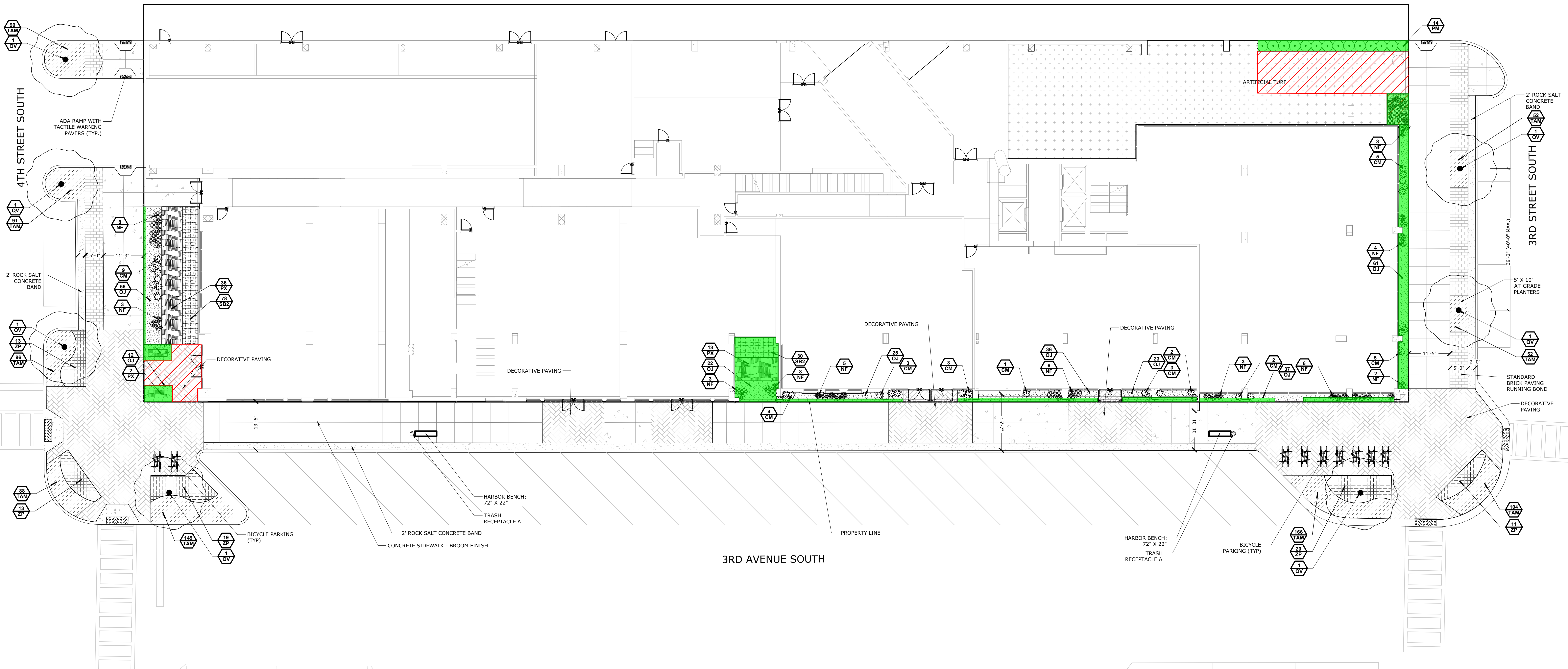
OPEN SPACE REQUIREMENTS

TOTAL SITE: 38,500 SF
 TOTAL OPEN SPACE REQUIRED (5%): 1,925 SF
 PERVIOUS OPEN SPACE REQUIRED (50%): 962.5 SF

TOTAL OPEN SPACE PROVIDED: 1,611 SF
 IMPERVIOUS OPEN SPACE PROVIDED: 792 SF
 PERVIOUS OPEN SPACE PROVIDED: 819 SF



PRIVATE DRIVE



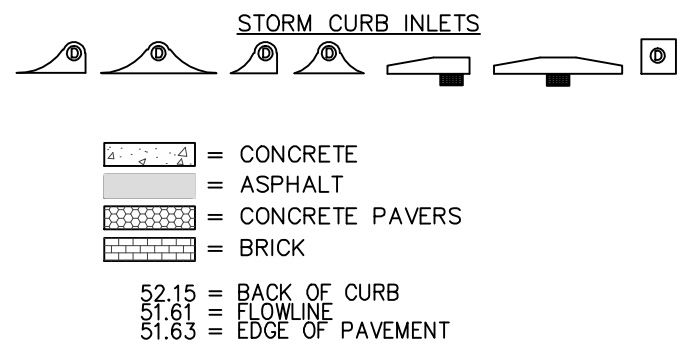
NOT FOR CONSTRUCTION

SYMBOL LEGEND

- + 25.25 = POINT OF ELEVATION
- ⊠ = BACKFLOW PREVENTER
- ⊡ = BOLLARD or POST
- ⊠ = BOX, CABLE TELEVISION
- ⊠ = BOX, ELECTRIC UTILITY (TRANSFORMER)
- ⊠ = BOX, TELEPHONE
- ⊠ = DECORATIVE LIGHT POLE
- ⊠ = ELECTRIC OUTLET
- ⊠ = FIRE HYDRANT
- ⊠ = FLAGPOLE
- ⊠ = FLARED END SECTION
- ⊠ = GRATE INLET
- ⊠ = GUY ANCHOR
- ⊠ = LIGHT POLE, CONCRETE
- ⊠ = LIGHT POLE, METAL
- ⊠ = LIGHT POLE, WOOD
- ⊠ = MAILBOX
- ⊠ = MANHOLE, ELECTRIC
- ⊠ = MANHOLE, GREASE TRAP
- ⊠ = MANHOLE, SANITARY SEWER
- ⊠ = TELEPHONE RISER
- ⊠ = TRAFFIC SIGN
- ⊠ = TRAFFIC SIGNAL BOX
- ⊠ = TRAFFIC SIGNAL POLE
- ⊠ = METER, ELECTRIC
- ⊠ = METER, GAS
- ⊠ = METER, WATER
- ⊠ = METER, RECLAIMED WATER
- ⊠ = MITERED END SECTION
- ⊠ = MONITORING WELL
- ⊠ = SANITARY CLEANOUT
- ⊠ = SCHEDULE B-2 ITEM
- ⊠ = TELEPHONE RISER
- ⊠ = TRAFFIC SIGN
- ⊠ = TRAFFIC SIGNAL BOX
- ⊠ = TRAFFIC SIGNAL POLE
- ⊠ = UNDERGROUND CABLE TELEVISION MARKER
- ⊠ = UNDERGROUND CABLE TELEVISION WARNING SIGN
- ⊠ = UNDERGROUND ELECTRIC MARKER
- ⊠ = UNDERGROUND ELECTRIC WARNING SIGN
- ⊠ = UNDERGROUND FIBER OPTIC MARKER
- ⊠ = UNDERGROUND FIBER OPTIC WARNING SIGN
- ⊠ = UNDERGROUND FORCEMAIN MARKER
- ⊠ = UNDERGROUND FORCEMAIN WARNING SIGN
- ⊠ = UNDERGROUND GAS MARKER
- ⊠ = UNDERGROUND GAS WARNING SIGN
- ⊠ = UNDERGROUND RECLAIMED WATER MARKER
- ⊠ = UNDERGROUND RECLAIMED WATER WARNING SIGN
- ⊠ = UNDERGROUND SANITARY SEWER MARKER
- ⊠ = UNDERGROUND SANITARY SEWER WARNING SIGN
- ⊠ = UNDERGROUND TELEPHONE MARKER
- ⊠ = UNDERGROUND TELEPHONE WARNING SIGN
- ⊠ = UNDERGROUND WATER MARKER
- ⊠ = UNDERGROUND WATER WARNING SIGN
- ⊠ = UTILITY POLE, CONCRETE
- ⊠ = UTILITY POLE, METAL
- ⊠ = UTILITY POLE, WOOD
- ⊠ = VALVE, GAS
- ⊠ = VALVE, RECLAIMED WATER
- ⊠ = VALVE, SANITARY
- ⊠ = VALVE, WATER
- ⊠ = WELL

TREE LEGEND

- ⊠ = BAY TREE
- ⊠ = BOTTLE BRUSH TREE
- ⊠ = CAMPHOR TREE
- ⊠ = CEDAR
- ⊠ = CHINABERRY TREE
- ⊠ = CITRUS TREE
- ⊠ = CYPRESS TREE
- ⊠ = ELM TREE
- ⊠ = EUCALYPTUS TREE
- ⊠ = MAGNOLIA TREE
- ⊠ = MAPLE TREE
- ⊠ = MULBERRY TREE
- ⊠ = OAK TREE
- ⊠ = OTHER SPECIES
- ⊠ = PALM TREE
- ⊠ = PECAN TREE
- ⊠ = PERSIMMON TREE
- ⊠ = PINE TREE
- ⊠ = SYCAMORE TREE
- ⊠ = WAX MYRTLE TREE
- ⊠ = WILLOW TREE



SECTION 19, TOWNSHIP 31 S., RANGE 17 E

PINELLAS COUNTY, FLORIDA

DESCRIPTION

PARCEL 1: (FEE ESTATE)
 LOT 2, BLOCK 1, OF 334 ST PETE, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 143, PAGE 96, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.
 CONTAINING 0.884 ACRES, MORE OR LESS.

PARCEL 2: (EASEMENT ESTATE)
 TOGETHER WITH PERPETUAL, NON-EXCLUSIVE, RECIPROCAL EASEMENTS FOR INGRESS, EGRESS AND UNDERGROUND UTILITIES FOR THE BENEFIT OF THE ABOVE-DESCRIBED PARCEL 1 AS CREATED BY AND SET-FORTH IN THAT CERTAIN MUTUAL INGRESS, EGRESS AND UTILITY EASEMENT BY AND BETWEEN ECHELON REALTY INVESTMENTS, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND ALY 334 ST. PETE, LLC, A FLORIDA LIMITED LIABILITY COMPANY, THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, RECORDED IN OFFICIAL RECORDS BOOK 20650, PAGE 2027, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

SURVEY NOTES

- BEARINGS ARE BASED ON THE WEST LINE OF LOT 2, BLOCK 1 OF 334 ST PETE AND THE EAST RIGHT-OF-WAY LINE OF 4TH STREET SOUTH, BEING ASSUMED AS S.00°01'15"E.
- SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED.
- NO EXCAVATION WAS PERFORMED TO VERIFY THE LOCATION OR EXISTENCE OF ANY UNDERGROUND UTILITIES, ENCROACHMENTS, IMPROVEMENTS, STRUCTURES OR FOUNDATIONS. UNDERGROUND UTILITY LINE LOCATIONS (IF SHOWN HEREON) ARE BASED UPON UTILITY PROVIDER ATLASSES AND VISIBLE SURFACE EVIDENCE.
- RE-USE OF THIS SURVEY FOR PURPOSES OTHER THAN WHICH IT WAS INTENDED, WITHOUT WRITTEN VERIFICATION, WILL BE AT THE RE-USERS SOLE RISK AND WITHOUT LIABILITY TO THE SURVEYOR. NOTHING HEREIN SHALL BE CONSTRUED TO GIVE ANY RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE TO WHOM CERTIFIED.
- ALL FOUND POINTS ARE UNMARKED UNLESS OTHERWISE NOTED. ALL PERMETER BEARINGS AND DISTANCES ARE ALSO FIELD MEASURED UNLESS NOTED.
- THIS SURVEY IS NOT INTENDED TO SHOW THE LOCATION OR EXISTENCE OF ANY JURISDICTIONAL, HAZARDOUS OR ENVIRONMENTALLY SENSITIVE AREAS.
- THE SITE APPEARS TO BE IN FLOOD ZONE X, ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 125148, MAP NUMBER 1210300219H, EFFECTIVE DATE 8/24/2021 (MAP INDEX NUMBER 121030020Z, MAP REV DATE AUGUST 24, 2021). POLARIS ASSOCIATES, INC. AND THE SIGNING SURVEYOR HEREOF ASSUMES NO LIABILITY FOR THE ACCURACY OF THIS DETERMINATION. THE AUTHOR OF THE MAP, THE FEDERAL EMERGENCY MANAGEMENT AGENCY, OR THE LOCAL GOVERNMENTAL AGENCY HAVING JURISDICTION OVER SUCH MATTERS SHOULD BE CONTACTED PRIOR TO ANY JUDGMENTS BEING MADE FROM THIS INFORMATION. THE ABOVE REFERENCED MAP STATES IN THE NOTES TO THE USER THAT "THIS MAP IS FOR USE IN ADMINISTERING THE NATIONAL FLOOD INSURANCE PROGRAM".
- ANY ZONING INFORMATION SHOWN OR NOTED HEREON IS BASED ON INFORMATION AVAILABLE DURING THE PREPARATION OF THE SURVEY. THIS INFORMATION SHOULD BE VERIFIED WITH THE GOVERNING AUTHORITY PRIOR TO ANY DETERMINATIONS OR DESIGN.
- SHOW ANYWHERE ON THIS SURVEY, THE WORD "CERTIFY" IS UNDERSTOOD TO BE AN EXPRESSION OF A PROFESSIONAL OPINION BASED UPON THE SURVEYOR'S BEST KNOWLEDGE, INFORMATION AND BELIEF, AND THAT IT THUS CONSTITUTES NEITHER A GUARANTEE NOR A WARRANTY.
- UNLESS OTHERWISE INDICATED, THE PROPERTY DESCRIPTION AND EASEMENTS SHOWN WERE FURNISHED TO POLARIS ASSOCIATES, INC. AND ARE PRESUMED TO BE CORRECT. NO SEARCH OF ANY PUBLIC RECORDS, FOR EASEMENTS, DEEDS, ETC., WAS PERFORMED BY THIS FIRM FOR THE COMPLETION OF THIS SURVEY AND THERE MAY BE ADDITIONAL RESTRICTIONS THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
- ELEVATIONS ARE BASED ON NATIONAL GEODETIC SURVEY BENCHMARK, 872 6520 9 RESET, HAVING AN ELEVATION OF 15.14, NORTH AMERICAN VERTICAL DATUM 1988 (NAVD 88).
- TREES 4" IN DIAMETER AND LARGER HAVE BEEN LOCATED WITH COMMON NAME AND APPROXIMATE DIAMETER BREAST HIGH. SMALLER TREES, NON-PROTECTED SPECIES (INCLUDING ORNAMENTALS) AND TREES WITHIN JURISDICTIONAL AREAS (IF ANY) HAVE NOT BEEN LOCATED. TREES BY NATURE ARE IRREGULAR IN SIZE AND SHAPE. EVERY EFFORT IS MADE TO ACCURATELY LOCATE TREES. THE TREE LOCATION IS THE CENTER OF THE TREE. THIS LOCATION MAY BE DIFFERENT IF LOCATED FROM A DIFFERENT DIRECTION. ALL TREE LOCATIONS SHOULD BE FIELD CHECKED IF CRITICAL TO DESIGN.
- THIS SURVEY IS BASED ON U.S. FEET.

TITLE COMMITMENT NOTES

DESCRIPTIONS AND EASEMENTS SHOWN HEREON WERE TAKEN FROM AN OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, COMMITMENT FOR TITLE INSURANCE, FILE NO: 21198809 NP, ISSUING OFFICE FILE NUMBER: ECHELON REALTY INV - 235, 3RD STREET SOUTH, COMMITMENT EFFECTIVE DATE: DECEMBER 15, 2021 AT 8:00 AM, ISSUED BY TRENAM, KEMKER, SCHARF, BARKIN, FRYE, O'NEILL & MULLIS PROFESSIONAL ASSOCIATES, 200 CENTRAL AVENUE, SUITE 1600, ST PETERSBURG, FL.

THE FOLLOWING ARE SCHEDULE B-II EXCEPTIONS:
 ITEMS 1 THROUGH 6) ARE NOT MATTERS OF SURVEY.
 ITEM 7) EASEMENTS, DEDICATIONS AND OTHER MATTERS SET-FORTH AND CONTAINED ON THE PLAT OF 334 ST PETE, RECORDED IN PLAT BOOK 143, PAGE 96. (AFFECTS SUBJECT PROPERTY, SHOWN HEREON)
 ITEM 8) TERMS, CONDITIONS, AND PROVISIONS OF THAT DEVELOPMENT ORDER, KNOWN AS THE INTOWN AREA WIDE DEVELOPMENT OF REGIONAL IMPACT DEVELOPMENT ORDER, UNDER ORDINANCE #1072-F OF THE CITY OF ST PETERSBURG, BEING EVIDENCED BY THAT NOTICE RECORDED IN OFFICIAL RECORDS BOOK 6900, PAGE 2224 AND NOTICE RECORDED IN OFFICIAL RECORDS BOOK 6933, PAGE 78; AS AMENDED BY THOSE NOTICES OF AMENDMENTS THEREO RECORDED IN OFFICIAL RECORDS BOOK 9859, PAGE 1395; RECORDED IN OFFICIAL RECORDS BOOK 9859, PAGE 992 AND RECORDED IN OFFICIAL RECORDS BOOK 16150, PAGE 43. (SUBJECT PROPERTY FALLS WITHIN THE LIMITS OF THE DEVELOPMENT ORDER)
 ITEM 9) EASEMENT IN FAVOR OF DUKE ENERGY FLORIDA, LLC, A FLORIDA LIMITED LIABILITY COMPANY, D/B/A DUKE ENERGY, AND ITS SUCCESSORS, LESSEES, LICENSEES, TRANSFERREES, PERMITEES, APORTEES AND ASSIGNS, RECORDED IN OFFICIAL RECORDS BOOK 20509, PAGE 1289. (AFFECTS SUBJECT PROPERTY, BLANKET EASEMENT)
 ITEM 10) EASEMENTS, TERMS, COVENANTS, CONDITIONS AND PROVISIONS SET-FORTH AND CONTAINED IN THAT CERTAIN MUTUAL INGRESS, EGRESS AND UTILITY EASEMENT BY AND BETWEEN ECHELON REALTY INVESTMENTS, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND ALY 334 ST. PETE, LLC, A FLORIDA LIMITED LIABILITY COMPANY, THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, RECORDED IN OFFICIAL RECORDS BOOK 20650, PAGE 2027. (AFFECTS SUBJECT PROPERTY, BLANKET EASEMENTS)
 ITEM 11) IS NOT A MATTER OF SURVEY.

CERTIFICATION

CERTIFIED TO: ECHELON 3RD & 3RD LLC, TRENAM, KEMKER, SCHARF, BARKIN, FRYE, O'NEILL & MULLIS, PROFESSIONAL ASSOCIATES; OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND DOES NOT INCLUDE ITEMS OF TABLE A THEREOF.

THE FIELDWORK WAS COMPLETED ON JANUARY 15, 2022.

DAN H. RIZZUTO, PROFESSIONAL LAND SURVEYOR
 LICENSE NUMBER LS 5227, STATE OF FLORIDA

PROJECT: **LOT 2 334 ST PETE**

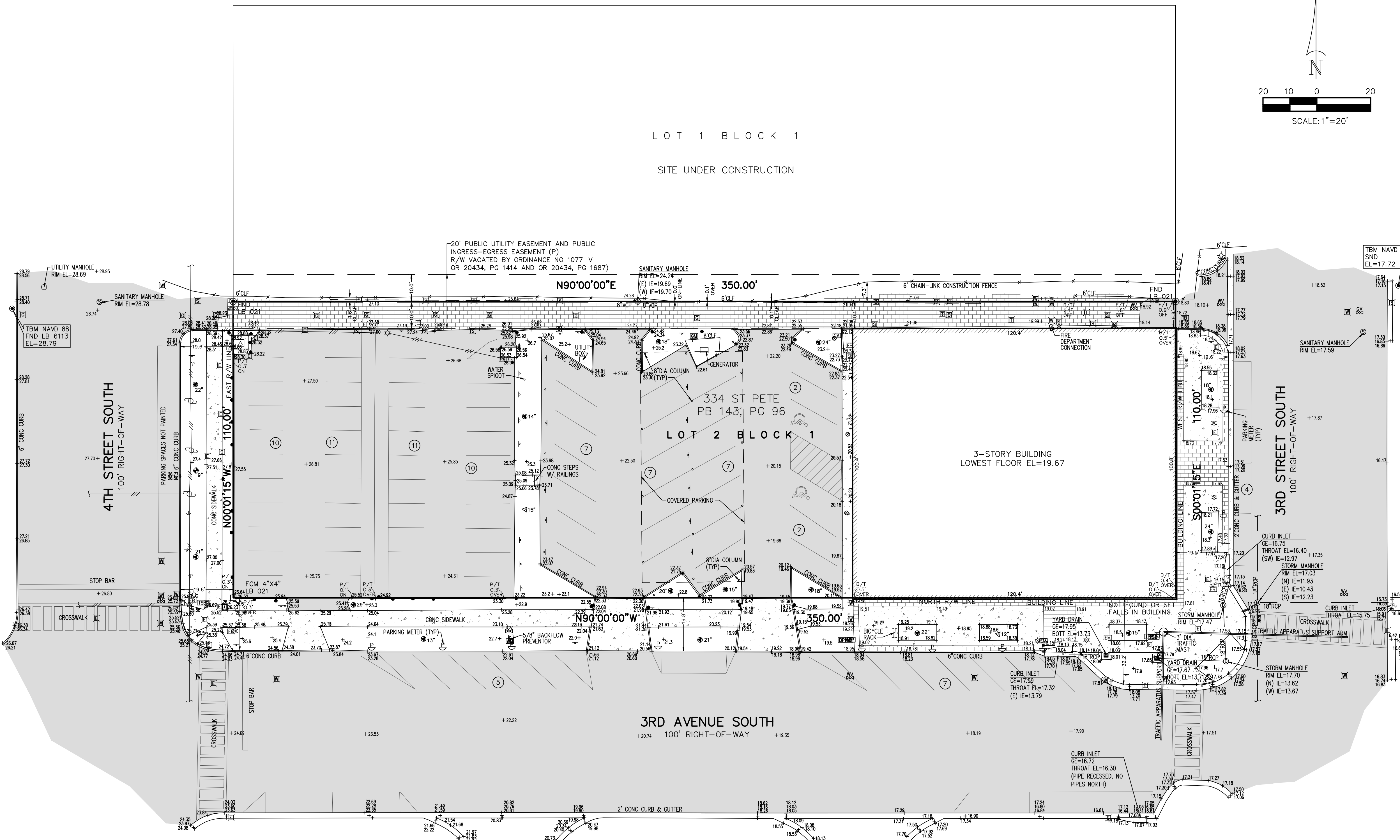
TYPE OF SURVEY: **ALTA/NSPS LAND TITLE SURVEY
 BOUNDARY AND TOPOGRAPHIC SURVEY**

PREPARED FOR: **ECHELON INTERNATIONAL**

POLARIS ASSOCIATES INC.
 PROFESSIONAL SURVEYING LB 6113
 2165 SUNNYDALE BOULEVARD, SUITE D
 CLEARWATER, FLORIDA 33765
 (727) 461-6113

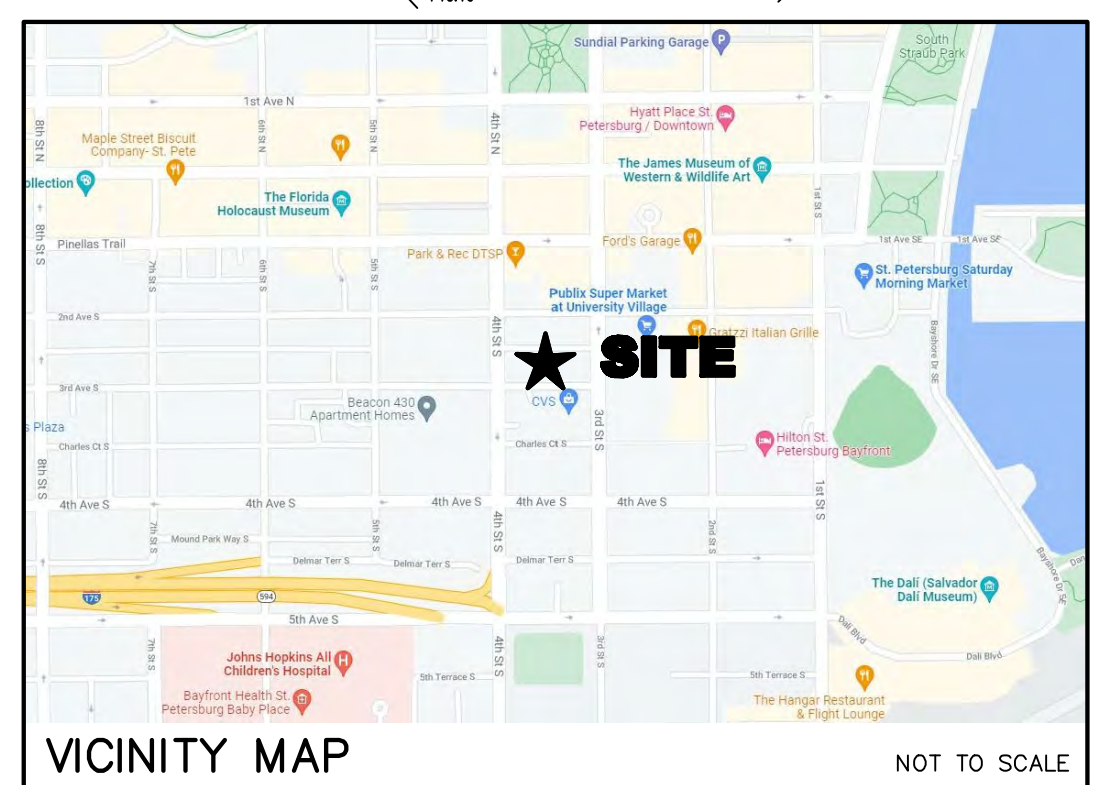
CHECKED BY:	SCALE:	DRAWN BY:	JOB NO.:	DRAWING PATH:	SHEET
DHR	1" = 20'	DHR/JT	5263-01	H:\N\5263\DWG\5263B1.DWG	1 OF 1

LOT 1 BLOCK 1
 SITE UNDER CONSTRUCTION



LEGEND

- A/C = AIR CONDITIONER UNIT
- BLDG = BUILDING
- (C) = CALCULATED DATA
- CCR = CERTIFIED CORNER RECORD
- CLF = CHAIN LINK FENCE
- CMP = CORRUGATED METAL PIPE
- CONC = CONCRETE
- COR = CORNER
- CPB = CONDOMINIUM PLAT BOOK
- C/T = CURB TIE
- (D) = DEED DATA
- DB = DEED BOOK
- DIP = DUCTILE IRON PIPE
- ECMP = ELLIPTICAL CORRUGATED METAL PIPE
- EL = ELEVATION
- EP = EDGE OF PAVEMENT
- ERCP = ELLIPTICAL REINFORCE CONCRETE PIPE
- (F) = FIELD DATA
- PRM = PERMANENT REFERENCE MONUMENT
- PSM = PROFESSIONAL SURVEYOR & MAPPER
- FDT = FLORIDA DEPARTMENT OF TRANSPORTATION
- FIR = FOUND IRON ROD
- FND = FOUND NAIL & DISC
- FOP = FOUND OPEN PIPE
- FPP = FOUND PINCHED PIPE
- FRRS = FOUND RAILROAD SPIKE
- F/T = FENCE TIE
- FXC = FOUND X-CUT
- GE = GRATE ELEVATION
- IE = INVERT ELEVATION
- (L) = LEGAL DESCRIPTION DATA
- LB = LICENSED BUSINESS
- LS = LICENSED SURVEYOR
- MAS = MASONRY
- MHW = MEAN HIGH WATER
- NP = NORMAL POOL
- O/A = OVERALL
- OR = OFFICIAL RECORDS BOOK
- (P) = PLAT DATA
- PB = PLAT BOOK
- PG = PAGE
- PLS = PROFESSIONAL LAND SURVEYOR
- POB = POINT OF BEGINNING
- POC = POINT OF COMMENCEMENT
- (F) = FIELD DATA
- PRM = PERMANENT REFERENCE MONUMENT
- PSM = PROFESSIONAL SURVEYOR & MAPPER
- P/T = PAVEMENT TIE
- PVC = POLY VINYL CHLORIDE
- RCP = REINFORCE CONCRETE PIPE
- RLS = REGISTERED LAND SURVEYOR
- R/W = RIGHT-OF-WAY
- SEC = SECTION
- SHW = SEASONAL HIGH WATER
- SIR = SET IRON ROD 1/2" LB 6113
- SND = SET NAIL & DISC LB 6113
- SR = STATE ROAD
- S/T = SIDEWALK TIE
- STY = STORY
- VCP = VITRIFIED CLAY PIPE
- W/J = WITH
- WF = WOOD FENCE
- W/T = WALL TIE
- TOP OF BANK
- TOE OF SLOPE OR CENTER LINE OF DITCH
- 6" CHAIN LINK FENCE UNLESS OTHERWISE NOTED
- OVERHEAD UTILITY LINES
- APPROXIMATE LOCATION OF UNDERGROUND GAS LINE
- APPROXIMATE LOCATION OF UNDERGROUND WATER LINE
- APPROXIMATE LOCATION OF UNDERGROUND FORCEMAIN
- APPROXIMATE LOCATION OF UNDERGROUND RECLAIMED WATER LINE
- APPROXIMATE LOCATION OF UNDERGROUND SANITARY SEWER LINE
- APPROXIMATE LOCATION OF UNDERGROUND STORM SEWER LINE



DATE	NUMBER	REVISIONS	BY